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KING'S LEIGH

 DAHUA GROUP | DACLAND



DESIGN GUIDELINES FEBRUARY 2017



AWARDS FOR
EXCELLENCE
WINNER

FOR ALLOTMENTS IN THE SUBDIVISION OF
46 ALFRED ROAD, WERRIBEE



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RIGHT CHOICE BY
PURCHASING WITH
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COMMUNITIES WITH
A REAL SENSE
OF PLACE.



WELCOME TO YOUR NEW HOME AT KING'S LEIGH

CONGRATULATIONS ON YOUR DECISION TO BUILD YOUR NEW HOME IN KING'S LEIGH.

This established and expanding residential neighbourhood is located in Werribee in the City of Wyndham. King's Leigh is a boutique residential development that offers attainable, upmarket living in Melbourne's west. This community is designed to be a first of its kind in Werribee, offering a safe, luxurious sanctuary to call home. The homes in King's Leigh will be held to a high design standard creating a premium neighbourhood for all residents and investors.

KING'S LEIGH DESIGN APPROVAL COMMITTEE

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MAINTAINING THE CHARACTER OF YOUR NEIGHBOURHOOD

The style of housing in King's Leigh will contribute significantly to the neighbourhood character and ultimately to the investment value of your property.

In addition to the careful planning and development of the overall community, the houses in King's Leigh will achieve a quality of design providing all residents with confidence that standards are being maintained.

YOUR HOME, YOUR STYLE

Every homeowner has individual requirements and ideas about the design, layout and look of their home. These Design Guidelines allow flexibility in your home design, while setting minimum standards to maintain the overall quality and character of the neighbourhood.

Rather than having a strict design formula, the King's Leigh Design Approval Committee (the Committee) and the City of Wyndham have developed a design review and approval process to ensure that both you and your new community benefit from your home design.

KING'S LEIGH DESIGN GUIDELINES

The Design Guidelines assist in creating your new home. Their purpose is to establish a quality standard for the neighbourhood and to ensure that your new home complements the neighbourhood vision.

Using these Guidelines, you can work with your builder, architect or designer to develop a home that suits your lifestyle, protects the value of your investment, and reflects the character of the King's Leigh community.

The Guidelines provide you and your builder/architect/designer with a step-by-step guide to building in King's Leigh. They are presented in an easy-to-read format, with Frequently Asked Questions, a submission checklist, a comprehensive glossary, and additional resources.

Houses in different stages of King's Leigh or in nearby neighbourhoods may differ in terms of design and layout. There are a number of reasons for this:

- › Each community is covered by a different planning permit and has different permit conditions which influence its Housing Design Guidelines.
- › Some communities have specific guidelines for particular lot types, such as standard density, medium density, parkland interface or rural buffer lots.
- › Design Guidelines are updated over time in response to the prevalence of certain design elements which can no longer be supported.
- › Guidelines are also updated at times to clarify requirements or to account for changes in adjoining communities.

You are required to comply with the version of the King's Leigh Design Guidelines included in your Contract of Sale/Vendor Statement. Other versions of the Guidelines and dwellings in other stages of King's Leigh or nearby estates are not relevant to your application and do not represent a design precedent which you can draw on in your application.



THE DESIGN APPROVAL PROCESS

Once you have completed plans for your new home, you must submit them to the Committee for approval. Note that the Committee only provides planning approval, it does not assess your application for compliance with any other building or statutory regulations which may be relevant. Approval by the Committee does not infer compliance under the Building Code of Australia, Rescode or any other applicable planning or building regulations.

You must apply for a building permit from a licensed building surveyor to construct your home. The building surveyor will review your plans to ensure that your dwelling also complies with the Victorian Building Regulatory System. Further information can be found at the Victorian Building Authority website: www.vba.vic.gov.au/practitioners/practitioner-resources/building-practitioner-resources

The Committee is made up of representatives from Werribee Project Pty. Ltd (the Developer), Dacland Pty. Ltd (the Project Manager) and an independent architect. Your plans will be reviewed for compliance with the Guidelines and each element will be assessed against the Design Checklist (Appendix C). If a design element is not approved, the Committee will provide written feedback indicating the amendments required in order to gain approval.

Your plans must be approved by the Committee within 5 years of registration of the plan of subdivision that applies to your lot. Any alterations and/or additions to your dwelling after this time will need to be approved by Council and a licensed building surveyor.

Construction of your house must commence within 12 months of settlement and must be completed 12 months from commencing. Any damage to the footpath, kerb, cross-over, nature strips (including street trees) or adjoining property during construction must be rectified within this timeframe.

Please note: The Design Guidelines form part of the purchase agreement for your lot. All dwellings and associated structures on your lot must be approved by the Committee. The Committee's decision is final, and while every effort is made to clarify its decisions, the Committee has complete discretion in the interpretation of the Guidelines. If you are unable to obtain approval through the Committee, a separate planning permit application to Wyndham City Council will be required with regards to the application of these Design Guidelines on a lot.



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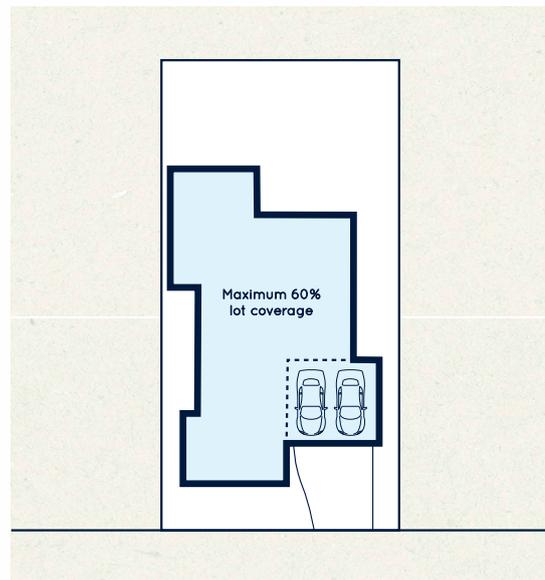
POSITIONING YOUR HOUSE & GARAGE

WELL-CONSIDERED POSITIONING OF YOUR HOME ENSURES THE BEST VISUAL PRESENTATION TO THE STREET, PROMOTES ENERGY EFFICIENCY AND MAXIMISES PRIVACY FOR YOU AND YOUR NEIGHBOURS.

ORIENTATION & SITE COVERAGE

- › Houses must face the street and present a clearly identifiable entrance such as a veranda, entrance portico or covered porch at the front door.
 - Verandas must have an area of at least 6m² and a depth of at least 1.5 metres.
 - An entrance porch or portico must have an area of at least 4m² and a depth of 1.5 metres.
- › Houses on corner blocks must face both streets and both façades must incorporate visually interesting features such as windows, awnings, verandas, or roof features such as Dutch gables. Blank or visually plain façades to either the primary or secondary street frontage will not be accepted.
- › Houses must be positioned to minimise overlooking and overshadowing of neighbouring houses. For double storey houses, a shadow diagram must be provided in accordance with the requirements of Rescode (Clause 54 of the Wyndham Planning Scheme) available at the Victorian Government's online planning schemes: www.planning-schemes.delwp.vic.gov.au/schemes/wyndham. Your building surveyor will also need to ensure your dwelling complies with the overlooking and overshadowing requirements of the Victorian Building Regulations.
- › On lots that are 450m² or greater, the living area of the dwelling must be at least 140m². Note the living area excludes garages, porches or verandas.

> FRONT LOADED DWELLING



> REAR LOADED DWELLING





- › On lots that are 449m², or less, the minimum living area of the dwelling is 110m².
- › The total footprint of all buildings, including the dwelling, garage, veranda and outbuildings, must not exceed 60% of the total lot area (i.e. site coverage). Eaves, fascias and gutters that are less than 600mm in width are not considered part of the building footprint. Swimming pools, terraces, patios, decks and pergolas that do not have a roof are not considered part of the building footprint. However, roofed swimming pools, terraces, patios, decks and pergolas will be included in the calculation of site coverage.
- › The Committee may also defer to Wyndham City Council's 'General Siting Requirements' if deemed relevant:
www.wyndham.vic.gov.au/services/building-planning/applying-building-permit/preparing-submitting-your-building-application.



BUILDING HEIGHTS & SETBACKS

The Guidelines for building heights and setbacks are designed to ensure visual continuity and create an attractive streetscape.

HEIGHTS

- › Buildings must not exceed two storeys. The maximum building height is 9 metres from natural ground level to the apex of the roof.
- › Natural ground level must be shown on all elevations. Natural ground level is considered to be the surface level after civil construction works have been completed and prior to the commencement of dwelling construction.
- › The maximum height of any wall measured from natural ground level is 7.2 metres.
- › Garages must be no more than 4 metres high. Where garages are located on side boundaries, the average height of the wall on the boundary must be no more than 3 metres and no part of the wall may be higher than 3.6 metres from natural ground level.

SETBACKS

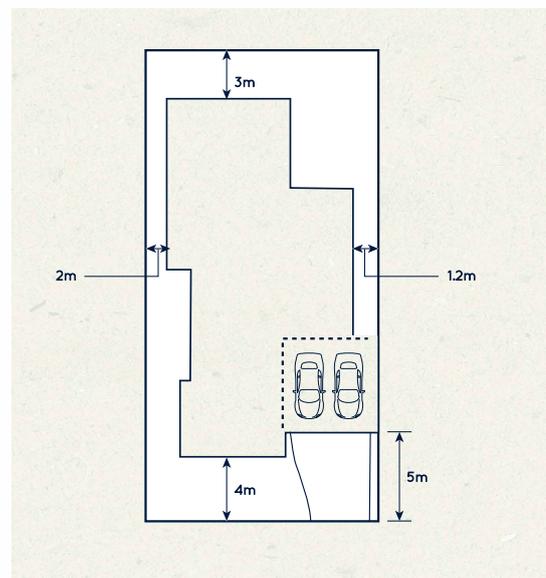
- › The main façade of the dwelling must be set back at least 4 metres from the front boundary. Porches, verandas and other entry features that are less than 3.6 metres high may encroach into this setback by not more than 1 metre.
- › Houses must be set back at least 1.2 metres from side property boundaries at the ground floor level.
- › If dictated by an easement, the house may need to be set back either 2 or 3 metres from a side boundary.
- › On corner lots, houses must be set back at least 2 metres from the side street boundary.
- › Garages must be set back at least 5 metres from the front boundary to allow a vehicle to be parked in front of the garage without obstructing the footpath.
- › Garages that are not located within 200mm of a side boundary must be setback at least 1 metre from the side boundary.

- › The Committee may vary setbacks on specific lots if it is deemed to benefit the overall balance of the streetscape and/or improve the solar efficiency of a dwelling based on the location and orientation of the lot. The Committee has complete discretion as to when such setback variations are appropriate. The Committee may also defer to Wyndham City Council's 'General Siting Requirements' if deemed relevant: www.wyndham.vic.gov.au/services/building-planning/applying-building-permit/preparing-submitting-your-building-application.

Lots less than 300m²:

- › The Small Lot Housing Code has been applied to lots less than 300m².
- › Small lots within King's Leigh may be defined as either Type A or Type B lots under the code.
- › Small lots must also comply with the requirements of these Design Guidelines. In the case of conflict between the Small Lot Housing Code and these Design Guidelines, the requirements of the Small Lot Housing Code prevail.

› SETBACKS



SOLAR ACCESS, ENERGY & WATER EFFICIENCY

Positioning and designing your house to maximise solar access improves energy efficiency, reduces ongoing costs and helps protect the environment.

Effective positioning will also ensure that your house design complies with the Victorian Government's 6 star energy rating requirements for new homes (for more information see www.vba.vic.gov.au/consumers/6-star-standard).

HIGH ENERGY RATING

- › A minimum 6 star rating report must be submitted with your house plans. You must also provide a copy of the energy rating report when you apply for a building permit through a licensed building surveyor. The building surveyor will ensure that your house complies with the energy rating regulations that are current at that time.

POSITIONING FOR SOLAR ACCESS

- › Houses must be sited so that habitable rooms and private open spaces achieve maximum solar access and energy efficiency.
- › Indoor living areas must face north to allow good solar access unless this is impossible (i.e. the lot is located on the south side of the street in a north or south orientation).
- › The main outdoor living areas must face north unless this is impossible.
- › The main outdoor living areas must not be located on the south side of the dwelling unless this is unavoidable.

HEATING & HOT WATER

- › Appliances such as hot water heaters and home heating systems should have high star ratings. The higher the star rating, the more energy efficient and cost effective the appliance will be.
- › Insulation must be installed in all walls and ceilings.

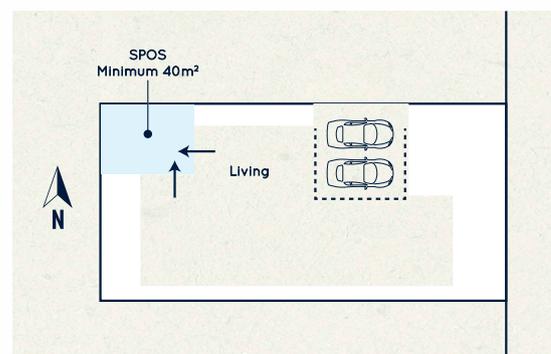
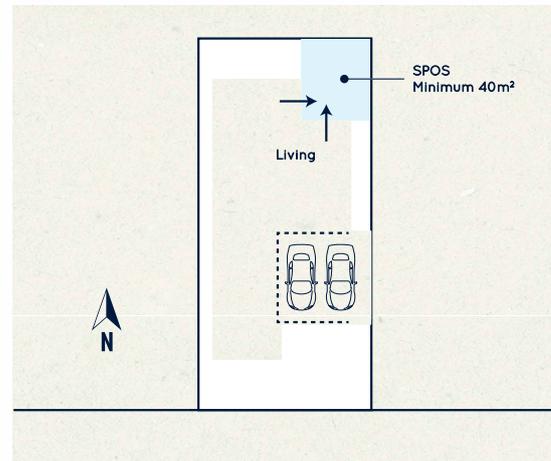
WATER CONSERVATION

In addition to achieving a 6 star energy rating for the building, government regulations also require that new houses feature either a water tank that supplies water to all toilet cisterns, or a solar hot water system. Where there is reticulated gas, the solar hot water system must be gas boosted. For further information, contact the Victoria Building Authority on 1300 815 127 or visit www.vba.vic.gov.au.

Water conservation requirements also apply in Victoria under the Plumbing Regulations 2008. These regulations require pressure regulators to restrict water pressure to a building and flow restrictions on showerheads and taps. For further information, contact the Victoria Building Authority on 1300 815 127 or visit www.vba.vic.gov.au.

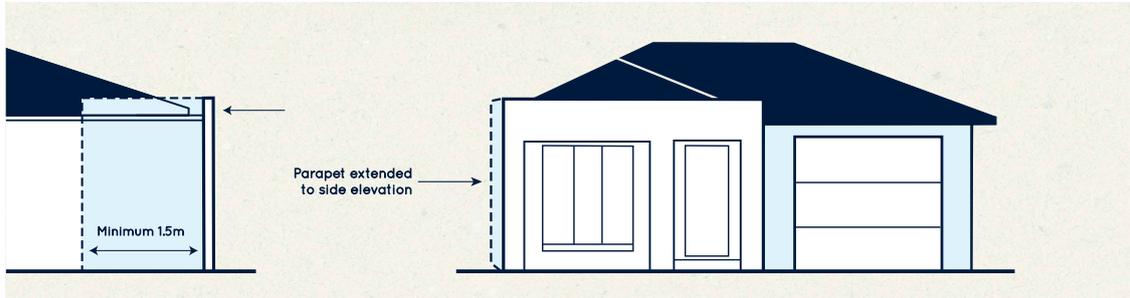
A 6 star rating must be conducted by an accredited professional using energy rating software (e.g. FirstRate or NatHERS).

› SECLUDED PRIVATE OPEN SPACE (SPOS) MUST FACE NORTH

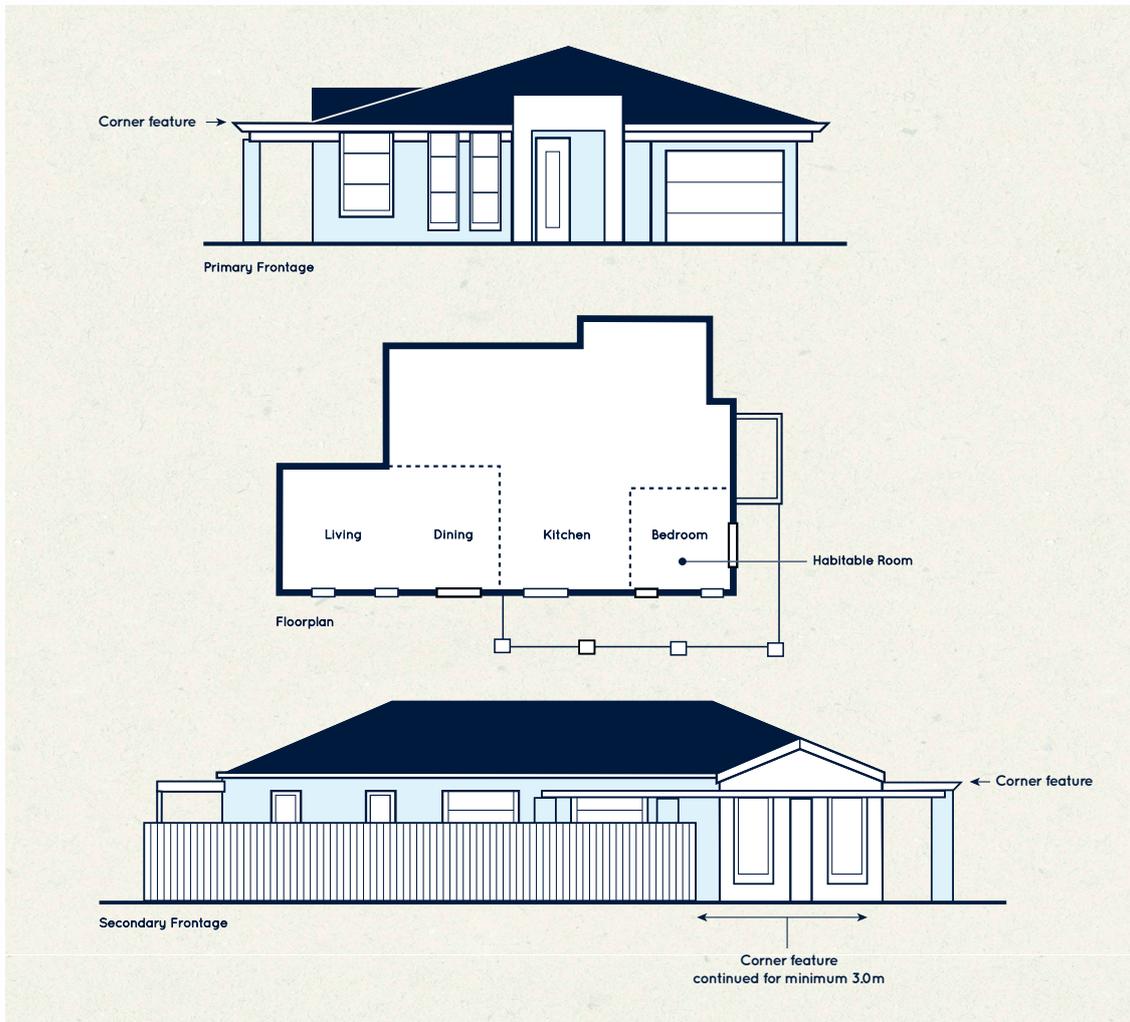




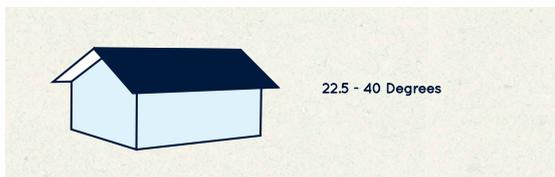
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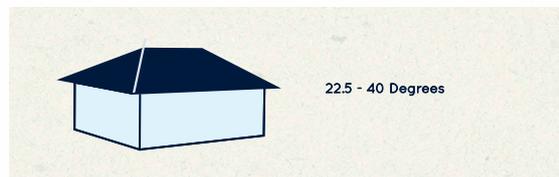
> CORNER LOT DWELLING



> GABLED / PITCHED ROOF



> HIPPED ROOF



DESIGNING YOUR HOME

ONCE YOU HAVE POSITIONED OF YOUR HOME, IT'S TIME TO CONSIDER THE FORM AND STYLE, AND THE MATERIALS AND COLOURS.

To complement the style of the King's Leigh neighbourhood, innovative, simple designs and natural materials and colours are recommended. Contemporary architectural designs are strongly encouraged. Period styles, such as Edwardian, Georgian, Italianate etc, are not permitted. Period detailing, such as quoins, corbeling, fretwork, lacework etc, are generally not permitted.

BUILDING & ROOF FORM

We encourage building forms that feature a variety of setbacks and heights as they create a diverse and varied streetscape. Houses with identical façades must not be constructed in close proximity to each other and must be separated by at least 5 houses in any direction.

- › Houses must not present large, unarticulated façades to the street as these box-like building forms can dominate the streetscape. Variations in external materials and colours should be used.
- › Double storey homes must incorporate articulation between the ground and first floor through definition of physical depth of the façade, including but not limited to material variation.
- › Roof pitch must be between 22.5 and 40 degrees. Flat roofs will generally not be accepted, although innovative designs incorporating skillion and curved roof elements will be considered.
- › Metal corrugated roofing is encouraged. Masonry, slate or terracotta tiles are also permitted.
- › Roof must be a neutral, subdued colour. Light-to-medium roof tones are required. Black colours such as "Sambuca" from Monier are not permitted.
- › Eaves are required for protection against the elements, to improve energy efficiency and to contribute to an attractive streetscape. Eaves should be at least 450mm wide, although smaller eaves may be considered if other desired features are incorporated, such as a veranda, and the design complies with the overall Guideline objectives.

- › On single storey dwellings, eaves to the frontage of the dwelling must return and continue a minimum distance of 3 metres along the side of the dwelling. Walls constructed on side boundaries (zero lot line) are exempt from eave requirements unless otherwise directed by the Committee. Corner lot dwellings must include eaves to both street frontages unless otherwise approved by the Committee. Double storey dwellings must include eaves around the entire perimeter of the second level.
- › We encourage features such as Dutch gables, dormer windows, different roof forms, verandas, patios and skylights, to soften the look of your house, and create patterns of light and shade for a more pleasant streetscape.

WINDOW PLACEMENT & DESIGN

Vertically proportioned windows create an attractive streetscape and help to create light-filled homes. Good placement and sizing of windows promotes energy efficiency while allowing for maximum privacy.

- › Windows on the sides and rear of your house must be designed and positioned to minimise overlooking adjacent properties. Screening or obscure glazing of windows may be required if there is a risk of overlooking. The Committee may also defer to Wyndham City Council's General Siting Requirements if deemed relevant: www.vba.vic.gov.au/consumers/6-star-standard.
- › The largest proportion of windows must face north toward the winter sun to maximise solar efficiency, and windows must be protected from the summer sun.
- › Large windows facing west should be protected from afternoon summer sun with timber shutters or sunshades.
- › Aluminium roller shutters are not permitted.
- › Tinted or reflective glass tends to be visually obtrusive, and is not permitted.
- › On corner blocks, windows facing both streets may be required to create visually interesting façades.

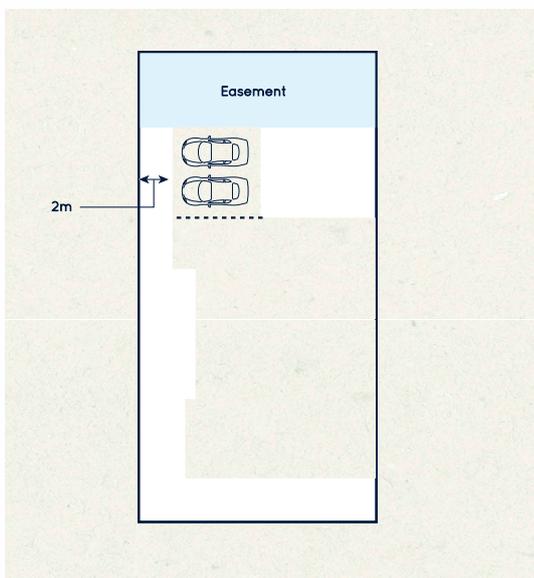


GARAGES, CARPORTS & DRIVEWAYS

Badly designed garages, carports and driveways can have a detrimental visual impact. To ensure they enhance the streetscape, it is best to make them visually similar to your house, with colours and materials that complement the dwelling.

- › Garages should be no more than 8 metres wide, 10 metres deep and 4 metres high. If a larger garage is proposed, it must not dominate the street façade. Garages comprising more than 60% of the total dwelling width will not be approved.
- › Garages must be set back at least 5 metres from the front boundary to enable a vehicle to be parked in front of the garage without obstructing the footpath. Garages should also be set back at least 840mm further than the dwelling's front façade to create articulation and visual interest.
- › Where garages are located on side boundaries, the garage wall on the boundary must be no higher than an average of 3 metres and no part may be higher than 3.6 metres. Dispensation from adjoining landowners and Wyndham Council may be required if this requirement cannot be met.
- › Where garages are located on a side loaded lot, they must be at least 2 metres from the side boundary.
- › Where garages are not located within 200mm of the side boundary, there must be a setback of at least 1 metre from the side boundary.
- › The garage must be integrated with the house in terms of building materials and style. Timber paneling and laminated timber garage doors are preferred. Metal roller doors are not permitted.
- › Secondary garages and carports are discouraged and only one double garage door is permitted to be visible from the street.
- › If a secondary garage, carport, shed, pergola or similar structure is proposed, the combined length of wall on the side boundary must not exceed 10 metres, plus 25% of the remaining length of the boundary. If the combined length of wall does exceed this calculation, the secondary garage, carport, shed, pergola or similar structure will need to be set back at least 1 metre from the side boundary.
- › When designing garages, consider screening of boats, caravans and trailers – this may require the primary garage to provide 'drive-through' access to the rear yard. Commercial vehicles with a carrying capacity of 1 tonne or more, or any boat, caravan or trailer must not be parked where visible from the street.
- › Driveways must be constructed within 30 days of the issue of a Certificate of Occupancy.
- › Vehicular crossings must be single, and driveways must not be wider than 4 metres. The driveway must be constructed of brick, slate, natural stone, asphalt, or stamped, patterned or coloured concrete or exposed aggregate concrete. The colour of the driveway should be a muted tone that enhances the streetscape. Plain concrete is not permitted.

› SIDE LOADED GARAGES



QUALITY BUILDING MATERIALS FACILITATE INNOVATIVE DESIGN AND ENVIRONMENTAL SUSTAINABILITY, AND ENHANCE THE STREETScape.

BUILDING MATERIALS, EXTERNAL FIXTURES & OUTDOOR LIGHTING

External fixtures are items visible on the outside of your house and garage, such as external plumbing, solar collectors, air-conditioning units and satellite dishes.

Outdoor lighting may be used for safety and surveillance, and to enhance the appearance of your house at night.

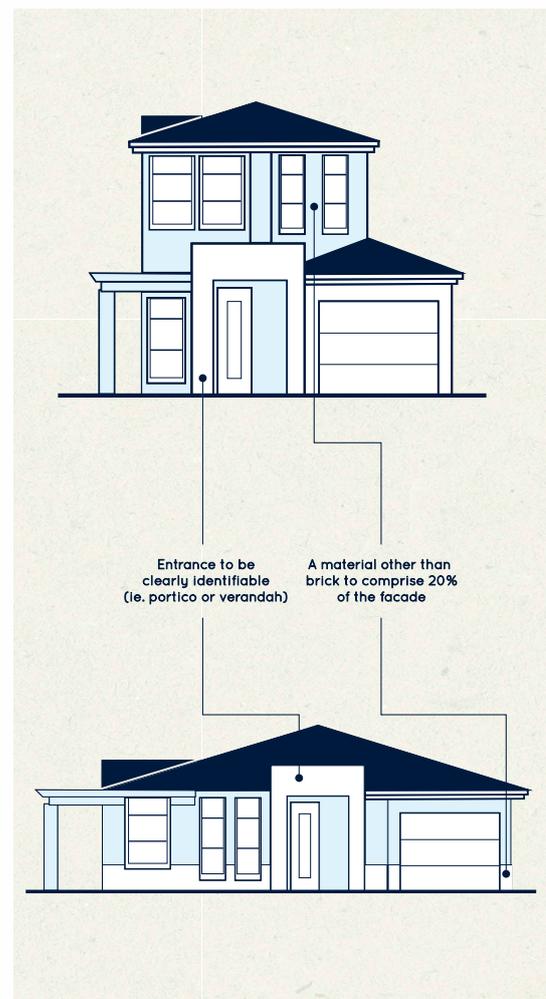
MATERIALS & COLOURS

- › All dwellings (including garages and car ports) must be constructed of brick, brick veneer, stone, timber, masonry or cement render. Cement block, besser block, and PVC products are not permitted. Any other material will be assessed by the Committee on a case-by-case basis.
- › A minimum of two materials must be used on nominated façades. No single material can comprise greater than 70% of the façade. This applies to all front elevations and elevations which face a street or reserve.

Note: Items such as the roof, garage door or windows cannot be included as a second material.

- › Preferred materials are:
 - Face brickwork
 - Rendered lightweight cladding or masonry
 - Weatherboards/cement composite materials (such as scyon cladding) in contemporary clean line styles. If used, these materials cannot comprise more than 50% of an elevation
 - Timber cladding
 - Selective use of stone or tile cladding.

› FRONT FACADE





- › Dwellings on corner lots must address both street frontages. Building materials and treatments utilised on the front façade, such as render or weatherboard, should wrap around to the secondary street façade for at least 3 metres or to the point where the side fence returns to the dwelling. If deemed appropriate, the Committee may also require landscape treatment of the front corner of the secondary façade in order to achieve appropriate presentation to the street.
- › Gutter and down pipe treatments must complement the roof or house colour.
- › Bright and contrasting colours must be minimal in the painting of details such as window sills, eaves and posts.

EXTERNAL FIXTURES

- › External plumbing, air conditioners, external hot water services, ducted heating units, antennas and satellite dishes located on the roof must not be visible from adjacent and abutting streets or neighbouring houses. Evaporative cooling units must be low profile, the same colour as the roof, placed below the ridge line and set back at least half way to the rear of the dwelling.
- › Solar collectors should also be positioned discreetly unless this will compromise system efficiency. If this is the case, they must be positioned to minimise the negative visual impact as much as possible.
- › All waste pipes must be concealed within wall cavities or enclosed in service ducts.
- › Fixtures, including utility meters, must be screened if they are going to be visually obtrusive. Suitable screening materials include fences, lattice and/or screening vegetation.

OUTDOOR LIGHTING

- › Lighting must be subtle and used to accent pathways or other features.
- › Lighting must minimise glare and light spillage onto other properties. This can be achieved by using low-glare, non-reflective fittings.
- › Use timers, daylight sensing controls or motion sensors to reduce energy wastage.

PRIVATE OPEN SPACE

PRIVATE OPEN SPACE IS OUTDOOR SPACE NOT VISIBLE FROM THE STREET. IT MUST BE DESIGNED AS A USABLE EXTENSION OF YOUR HOME, AND MUST MEET RECREATIONAL, SERVICE AND STORAGE REQUIREMENTS.

- › Private open space must account for at least 20% of the total lot area, or 80m², whichever is lesser, but not less than 25m².
- › A portion of the private open space should be located next to indoor living areas to better accommodate outdoor living and entertaining. Unless impossible, private open space should face north to maximise solar access and energy efficiency.
- › Service and storage areas must be adequately screened from the house, neighbours and the street. Suitable screening methods include planting, lattice and fencing.

DESIGNING YOUR GARDEN

Along with the design of your house, careful consideration should be given to the design of your garden. This can save you time and money during construction, and can also result in the following longer term financial, social, and ecological benefits:

- › Your garden can become an extension of the house, with usable and adaptable outdoor spaces.
- › A planned garden will enhance and complement the character of your street and the broader community.
- › Careful plant selection allows you to choose which views you maximise and which you reduce.
- › You can design for sunlight or wind protection, increasing the energy efficiency of your home.
- › Well designed gardens reduce water usage.

LANDSCAPE PLAN

A landscape plan is required as part of your submission, and the Developer reserves the right to assess on a case-by-case basis. Your plan should include the following items:

- › Layout and materials for paved areas. No more than 60% of the front garden can be hard paving. At least 40% must comprise trees, shrubs, tufting plants, or drought resistant lawn or a lawn alternative such as groundcovers, scoria, river pebbles or Lilydale toppings or similar. The front garden must include:
 - At least one advanced evergreen tree or deciduous tree, with a minimum height of 2 metres. The Committee reserves the right to stipulate the particular species of this tree in order to complement the street trees planted by the Developer in the road reserve.

All garden bed areas within the front yard must be edged using brick, timber, steel or spaded edges and contain:

- A minimum of 10 medium-to-large shrubs (from 200mm pot size at installation) and;
- A minimum of 20 smaller shrubs (from 150mm pot size at installation) and;
- A minimum of 20 ground cover plants (from 150mm pot size at installation).

The landscape plan must also include:

- › A letterbox that complements the dwelling in terms of materials, colour and style.



- › Location of swimming pool (if applicable). While the Committee must approve the location of your pool, the actual construction of pools must meet a separate set of safety and construction guidelines. Contact Wyndham Council's Building Services for further details: www.wyndham.vic.gov.au/services/building-planning/applying-building-permit/preparing-submitting-your-building-application.
- › Details of any existing native vegetation including branch canopy. These must be integrated into the landscape design.
- › Landscaping to the front street view, which must be completed within 3 months of the issue of the Occupancy Permit, and must include:
 - Layout of lawn and garden beds, including types of mulches to be used.
 - Layout of planting, including species and quantities.
 - Location, elevations, heights and proposed materials of any external structures including garden sheds and pergolas.

PLANT SELECTION

The use of local (indigenous) and native plants will draw on and strengthen the existing natural character of your lot, and provide habitat and food for native birds and animals. These plants will also reduce water consumption. A list of recommended local and native plants and prohibited plants is attached in Appendix F.

Note the following when designing your garden:

- › Careful consideration must be given to the mature height and spread of trees, and how root systems might impact nearby building foundations.
- › Larger shrubs and trees must be planted to screen neighbours' homes and utility areas (such as rubbish bins).
- › Use local (indigenous) plant species. Exotic plants may be acceptable as long as they are not known environmental weeds. Plants listed in the 'Prohibited Species' list of Appendix F must not be used.
- › Position deciduous trees to provide shade to windows in summer and allow sunshine into the house in winter.
- › Plant shade-loving species such as ferns in sheltered, south-facing spaces.

Plant selection is guided by the natural conditions of the site. Robust species which will thrive in the clay soils and climatic conditions of Werribee have been selected to ensure successful establishment and development. Emphasis should be placed on achieving contrast in texture, colour and fragrance to create a striking plant mix that complements the desirable, premium landscape of King's Leigh.

The tips on the following pages are tailored for residential-scale landscape, and assume that soil cultivation will take place prior to planting.



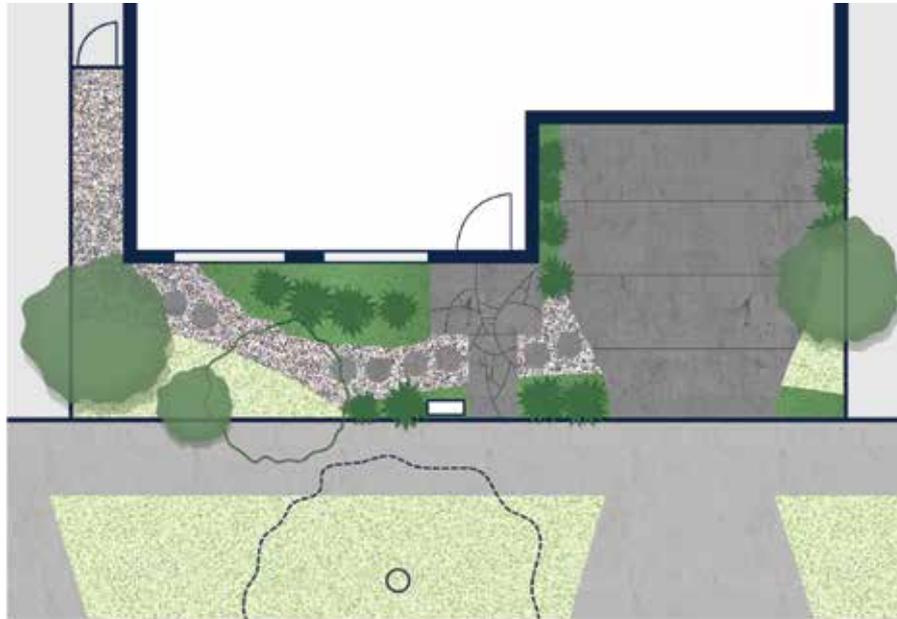
TIPS FOR CREATING AN ATTRACTIVE & SUSTAINABLE GARDEN DESIGN

- 1 Plant complementary mixes of species rather than masses of monoculture. This builds resilience and increases visual interest and ecological value. For example, pick 2 to 5 species from the recommended list in Appendix F (e.g. 2 strappy, 1 small shrub and 1 low groundcover) and arrange in the bed to create a composition with contrasts in colour, texture, shape and size.
- 2 Arrange plants in clusters of species, i.e. groups of 3 strappy-leaved plants together, surrounded by a mat of low ground covers.
- 3 Group plants in odd numbers to create balance and harmony.
- 4 Choose plants with different flowering seasons to enhance year round interest.
- 5 Tier/layer plants by arranging taller plants to the back of the bed and smaller plants to the front to create a pleasing visual effect to your garden.
- 6 Consider other seasonal variations such as autumn leaves or coloured fruits.
- 7 While the plants in the recommended list have been chosen for the suitability to the area and are all easy-to-grow and low maintenance, ongoing garden maintenance is recommended. This includes formative pruning, cutting back perennial plants, dead-heading flowers, clearing deadwood/foliage and ongoing weeding. This will promote healthy growth and ensure that your garden is looking its best year round.
- 8 Use climbers to cover fences or on a section of the home façade. This provides a cooling effect in summer through shading and evapo-transpiration.
- 9 Use shrubs, hedges or architectural plants to create structure in the garden and infill with mixes of soft textured perennial flowering plants.
- 10 Use plants to hide boundary fences. This makes your garden feel bigger and better connected to the surrounding landscape and nature strips.
- 11 Position trees in the front yard to complement the location of existing street trees. This helps to enhance greenery and shade in the streetscape.
- 12 Use more permeable surfaces in the front garden to reduce runoff and promote better plant growth.
- 13 Ensure pathways lead to a purposeful destination (i.e. the front door or side gate). Paths that lead to empty space will not be used and require unnecessary maintenance.
- 14 Ensure a balance of garden beds and scatterings of small trees. This adds to the overall feature of the garden and streetscape.



GARDEN DESIGN EXAMPLE: STANDARD LOT

(i.e. double garage accessed from the front)



GARDEN DESIGN EXAMPLE: FRONT LOADED

(i.e. narrow lot with single garage accessed from the front)

(i.e. narrow lot with single garage accessed from the front)



KEY



Street trees



Low shrub/groundcover



Pre-cast concrete paver/natural stone



Narrow columnar trees



River rocks/pebbles/gravel



Mail box low wall (refer fencing control)

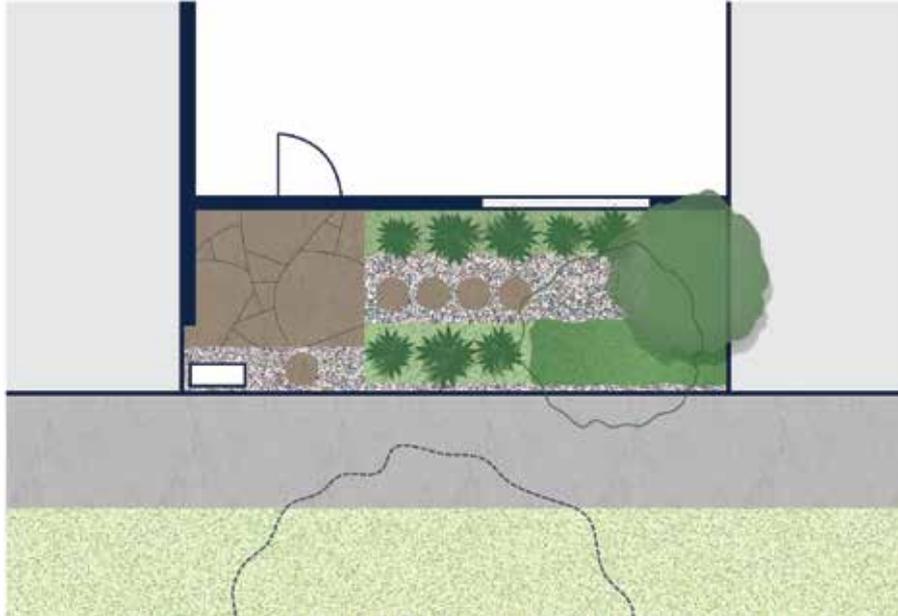


Grassy & strappy - leaved plants

NOTE: These illustrations are indicative only and are not drawn to scale. Building setbacks vary from one block to another so review the section POSITIONING YOUR HOUSE AND GARAGE before designing your garden.

GARDEN DESIGN EXAMPLE: REAR LOADED

(i.e. garage access from rear laneway)



GARDEN DESIGN EXAMPLE: CORNER LOADED

(i.e. access from the side street)



KEY



Street trees



Narrow columnar trees



Grassy & strappy - leaved plants



Low shrub/groundcover



River rocks/pebbles/gravel



Pre-cast concrete paver/natural stone



Mail box low wall (refer fencing control)



SURFACE TREATMENTS & SOIL IMPROVEMENT

SURFACE TREATMENTS

A mix of hard and soft surface treatments allows for recreational, storage and service requirements to be met, and reduces surface run-off.

- › A mix of hard and soft surface treatments must be used. Soft surface treatments, which absorb water, such as garden beds and grasses, must make up a larger proportion of the outdoor space.
- › Large areas of paving must be minimised, and only be used for paths and entertaining areas such as patios/courtyards.
- › As large areas of lawn require significant watering, use alternative porous surface treatments such as gravel, pebbles and planting to reduce water consumption. The type of gravel or pebbles used must complement the external colours of the dwelling.

SOIL IMPROVEMENT

Plants growing in Werribee's heavy basaltic soils will benefit from the improvement measures outlined below.

- › Use local (indigenous) and native plants, as they are better suited to the soil and weather conditions.
- › Add composted organic material to the top 150mm of the soil to improve the humus levels of the soil.
- › Add gypsum to the soil to improve drainage and cultivation, as per manufacturers' recommendations.
- › Add good quality organic topsoil to improve the local soil.
- › Add mulch to prevent the soil from drying out, and to suppress weed growth. Use organic material such as pine bark or compost to 75mm depth.

TREE PROTECTION

All existing trees and shrubs must be protected during construction of your home.

- › Take care when positioning your house and other structures to ensure that building works do not impact existing trees.
- › All buildings must be set back at least 1 metre from the canopy drip line of the tree. No storage, including loading and unloading, of materials, waste, equipment, vehicles or machinery is permitted within the tree protection zone.
- › No trenching is to be carried out beneath the canopy drip line. Services must be located well away from these areas.
- › During construction existing trees must be protected with temporary safety fencing which is 1.2 metres high and situated at least 2 metres beyond the branch canopy. This temporary fencing must be maintained until all works are completed, including construction of a dwelling. A notice must be included on the fence advising the purpose of the tree protection zone, the need to retain the fence during construction and that fines will be imposed for removal of the fence and damage to any existing trees.
- › No existing trees may be removed without approval. An application must be made to the City of Wyndham to remove any tree.

A PLANNED GARDEN WILL ENHANCE AND COMPLEMENT THE CHARACTER OF YOUR STREET AND THE BROADER COMMUNITY.

FENCING

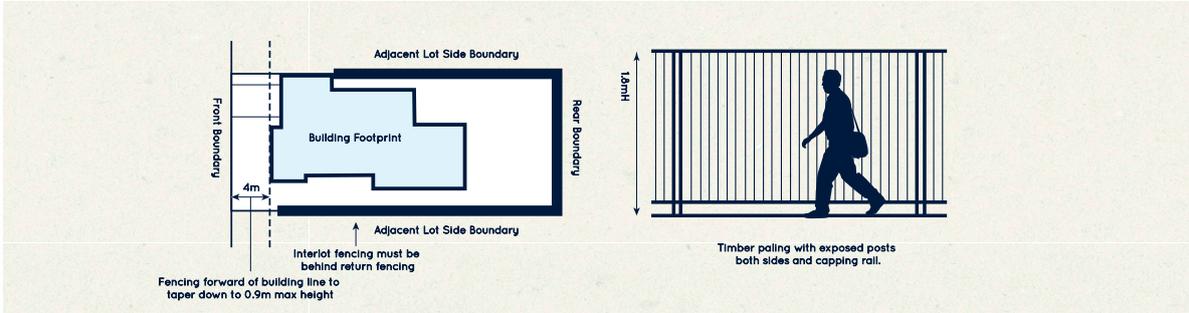
FENCING IS A VITAL STREETSCAPE FEATURE. YOUR FENCE MUST BE DESIGNED TO INTEGRATE WITH THE COLOURS AND MATERIALS OF YOUR HOUSE AND GARAGE.

- › Fence materials and colour must complement those of your house. Solid metal and Colorbond materials are not permitted.
- › Side and rear boundary fences should be constructed of 1.8 metre lapped timber palings with exposed posts on both sides and a capping rail. Side wing fences must also be constructed with complementary style and materials.
- › Front fences are not permitted.
- › Fencing along a side boundary must not extend more than 70% of the total length of the lot.
- › Fences must be constructed within 30 days of the issue of a Certificate of Occupancy.
- › Where lots adjoin open space, fencing is provided by the Developer. It must remain in place and is not subject to negotiation or alteration.
- › Fences abutting open space or tree reserves must be maintained and repaired by the owner of the abutting allotment. The land owner is not responsible for removing graffiti, or repairing damage caused by Council or its contractors.
- › Embankments should not exceed a slope of 1 in 5. While retaining walls are preferred to steep embankments, they should not exceed 1.5 metres in height, so several terraces may be required. (Note: existing retaining walls constructed by the Developer may exceed this 1.5 metre height limit).
- › Retaining walls should be constructed of timber sleepers, rock, brick or textured/coloured concrete. Where possible, retaining walls should be landscaped to reduce visibility.
- › When arranging your fencing, you will need to contact your neighbours to arrange quotes and shared costs. To obtain your neighbours' contact details, apply directly to Wyndham City Council. The application form is included as Appendix E.

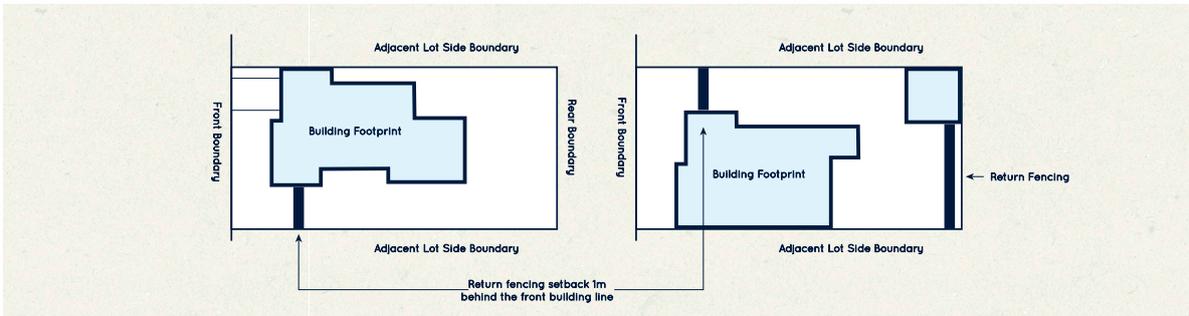
Further information about the Fences Act can be found at the Department of Justice and Regulation website: www.justice.vic.gov.au



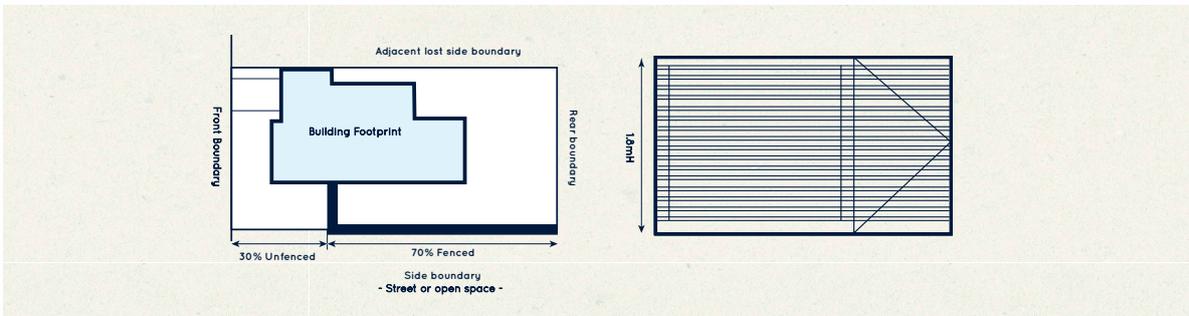
> INTERLOT FENCING ARRANGEMENT AND ELEVATION



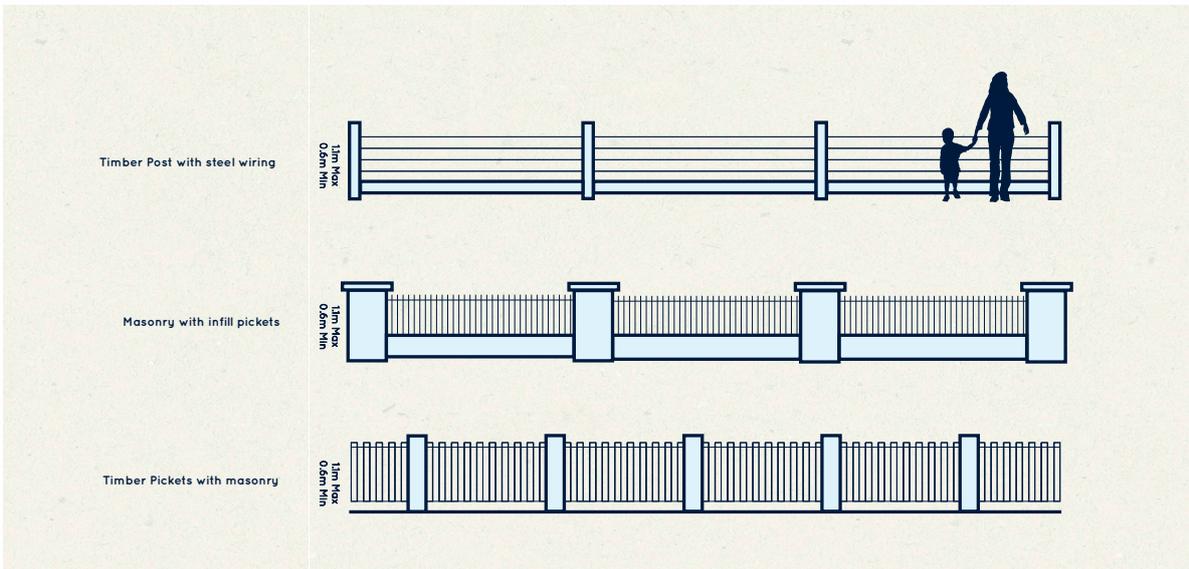
> TYPICAL RETURN FENCING ARRANGEMENT AND ELEVATION



> TYPICAL CORNER FENCING ARRANGEMENT AND ELEVATION



> FRONT FENCING (REAR LOADED LOTS ONLY)





UTILITY AREAS & EXTERNAL STRUCTURES

RUBBISH & RECYCLING BINS

- › The City of Wyndham provides rubbish bins and recycling crates; these must be stored out of street view.
- › Environmentally sustainable initiatives such as worm farms and compost are strongly encouraged.

LETTERBOXES

- › Letterboxes must comply with Australia Post requirements: www.auspost.com.au/media/documents/Appendix_02_Aug13.pdf.
- › Letterboxes must be situated at the front of the house. For lots where vehicular access is via the rear only, letterboxes must be located at the rear.
- › The street number must be displayed on the letterbox.

CLOTHESLINES & DRYING AREAS

- › Clotheslines and outdoor drying facilities must not be visible from streets or parks.
- › They must be located to maximise winter sunshine.

OUTBUILDINGS (WORKSHOPS, SHEDS, GARDEN SHEDS, PERGOLAS, ANIMAL SHELTERS)

- › These structures must be designed and positioned to have minimal impact on surrounding properties.
- › They must be located at the rear of the lot and be screened appropriately.

SERVICES

Appropriate integration of service items is important to consider when planning your home in terms of function and also the potential impact on the streetscape and neighbouring properties.

NBN CONNECTIVITY

The Developer delivers the infrastructure required for NBN Co to install NBN cable once construction is complete.

RECYCLED WATER

King's Leigh has recycled water available. As per the Plan of Subdivision included in your Contract of Sale, all houses must incorporate dual plumbing for the use of recycled water in toilet flushing and garden watering.

LOT MAINTENANCE

LOTS MUST BE MAINTAINED TO ENSURE A HIGH STANDARD OF PRESENTATION THROUGHOUT KING'S LEIGH.

Dumping rubbish on vacant lots is prohibited and illegal, and may result in be fines being imposed by Wyndham City Council.

- › During home construction, grass must be regularly mown and all rubbish (including builders' rubbish) must be stored within a cage and removed as appropriate. Failure to provide a cage may result in fines being imposed by Wyndham City Council.
- › Nature strip planting (such as street trees, lawn and garden beds) must be protected during house construction. The cost of repairing any damage to nature strip planting will be charged to the landowner.
- › Builders must adhere to the City of Wyndham's Community Amenity Local Law (2015) which protects municipal assets and controls builders' activities on site. Copies of the code can be downloaded from www.wyndham.vic.gov.au/services/local-laws-permits/other-laws-and-regulations.

MEET KING'S LEIGH'S NEWEST RESIDENTS

MATT
& JESS

SAM



APPENDICES

APPENDIX A – GLOSSARY OF TERMS

Branch canopy	The area made up by the branches and leaves of a tree. Also referred to as branch spread.
Canopy drip line	The area that falls directly below the branch canopy. The canopy drip line is the outermost area on the ground that rain, having fallen from the branch canopy, would drip onto. Buildings or structures must be at least 1 metre clear of the outer edge of the canopy drip line.
Dormers	A window set vertically in a structure projecting through a sloping roof.
Dwelling	Refers to a building (usually the house) which is used as a self-contained residence.
Eaves	Extension of the roof that overhangs the intersection with the walls.
Elevation	A drawing that represents the façade of a building or structure. Most sets of plans will include at least 4 elevations depicting how the dwelling or structure will appear when viewed from differing angles.
External fixtures	Items visible on the outside of your house and garage, such as external plumbing, solar collectors, air-conditioning units, satellite dishes and outdoor lighting.
External structures	Any building or structure which does not form part of the main dwelling. Includes letterboxes, clotheslines and outbuildings. The location and design of these structures must all be approved by the Committee.
Façade	The face or front wall of a building.
Frontage	Refers to the road alignment at the front of a lot. If a lot faces two or more roads, the frontage of the allotment is that boundary on which the driveway crossover is located. Houses on corner blocks must be positioned to address both streets and preferably include windows facing both streets.
Gable	The triangular end of a house formed at the end of a pitched roof. A gable usually extends from the eaves level to the apex of the roof.
Hip	A hip (or hipped) roof slopes down to the eaves on all sides. Although a hipped roof is not gabled, it may have dormers or connecting wings with gables.
Outbuilding	Outbuildings are external structures that are usually separate from the house and garage. They include workshops, sheds, garden sheds, pergolas, storage and animal shelters.
Pediment	A triangular or other geometrically shaped decoration above doors, windows, etc.
Pitch	The angle of inclination to the horizon of a roof. Must be 22.5 – 40 degrees.
Private open space	Refers to the garden or backyard at the rear of the lot which is usually visually and physically separate from the street, and is for the exclusive use of the residents of that lot.



Road reserve	Refers to the land set aside for a street pavement or verge.
Root zone	The area which is likely to contain the roots of existing vegetation. Generally, this is deemed metre cover the same area as the canopy drip line of the tree. Buildings and structures must be at least 1 metre clear of the root zone and protective fencing is required during construction.
Service easement	An easement is an area of land, or part of an allotment, reserved by law for a specific purpose such as access, drainage reticulation, or municipal services. If you wish to build over an easement you must gain approval from your local council. To determine which authorities are responsible for, or have rights to your easement, please check your title.
Setback	Refers to the minimum distance required between the house and the allotment boundary.
Side street	Typically refers to the longer street boundary on a corner lot.
Streetscape	Refers to the view made up of road, nature strips, footpaths, fences, front gardens and houses.
Tree protection zone	Refers to the area within and 1 metre beyond the canopy drip line of existing trees, which is to be protected from any disturbance with a fence during construction.
Utility area	An area where items such as outdoor water heaters, gardening equipment and rubbish bins should be located/stored. Visual screening of these areas with fencing, lattice and/or planting is required.
Vehicular crossing	The concrete access point which provides vehicle access from the road pavement to your driveway/garage. Crossovers are constructed by the Developer and cannot be relocated without endorsement by the Committee and formal approval by Wyndham City Council.



APPENDIX B – FREQUENTLY ASKED QUESTIONS

Q. I'M NOT SURE WHETHER MY DESIGN COMPLIES WITH THE DESIGN GUIDELINES. IS THERE A WAY I CAN CHECK BEFORE I SUBMIT MY PLANS?

A. By using the Design Checklist (Appendix C) you can determine how likely it is that your design will receive Committee approval.

The Design Checklist is an indicative guide to the assessment process and outlines the key features that the Committee will be looking for in your application. However, the Committee has complete discretion in the interpretation of the Design Guidelines, and the Committee's decision is final.

If your plans are not approved, you will receive feedback explaining why. You should address all of the items raised prior to resubmitting your plans. Resubmitting plans that only address some aspects of the feedback and ignore others will increase turnaround times as several rounds of changes and assessments will be required.

Q. WHAT DOCUMENTATION DO I NEED TO PROVIDE WITH MY SUBMISSION?

A. Appendix D outlines all of the documentation required for your submission to the Committee.

Q. WHY DO I NEED TO PROVIDE DUPLICATE / ENLARGED COPIES OF MY PLANS?

A. Certain details in your plans may be difficult to read when they are reduced to a smaller scale. Larger plans (A3) also provide a more accurate visual scale of certain design features such as wall heights, ceiling heights and roof pitch.

When approved, one set of plans will be stamped and returned to you to obtain a building permit. The duplicate copy is kept on file for future reference.

Q. DO I NEED TO SUBMIT MY LANDSCAPE PLAN AT THE SAME TIME AS MY HOME PLANS?

A. You can submit your landscape plan after your home plans; however, you must provide your landscape plan to the Committee prior to moving into your new home. You will also be required to complete landscaping of your front garden within 3 months of completing the construction of your home.

Q. I HAVE RECEIVED FEEDBACK FROM THE COMMITTEE WITH SUGGESTED UPDATES TO MY PLAN, WHAT DO I DO NOW?

A. Instruct your builder, drafts person or architect to amend your plans in accordance with the feedback you have received. Once these changes have been made, forward your amended plans to the Committee for re-assessment. Ensure revised submission checklists (Appendices C and D) are included when resubmitting plans.

Q. WHY DOES THE COMMITTEE ONLY SUGGEST OR RECOMMEND CERTAIN CHANGES?

A. The Committee will suggest certain design changes to help you achieve approval. Should you choose not to follow these, the Committee may consider alternative solutions which address the comments they have provided. For example, the Committee may consider your dwelling design to be roof dominant and suggest that you raise your internal ceiling height; however, you may prefer to address this issue by constructing your house on stumps with a step to the entrance.

Q. WHY DO I HAVE TO ADHERE TO THE SETBACK REQUIREMENTS IF MY NEIGHBOUR IS HAPPY FOR ME TO BUILD MY HOUSE CLOSER TO THE COMMON BOUNDARY?

A. Setbacks safeguard you and your neighbours' privacy, reflect underground service easements, and protect existing vegetation.

Q. WHAT IF I WANT TO CHANGE THE DESIGN OF MY HOUSE AFTER I HAVE RECEIVED APPROVAL FROM THE COMMITTEE?

A. You will need to seek Committee approval for your new/amended plans. Resubmit your plans, highlighting those design elements which have changed. The Committee will process your application in the same manner as your original application. Ensure revised submission checklists (Appendices C and D) are included when resubmitting plans.



APPENDIX C – DESIGN CHECKLIST

This Checklist must be completed and submitted with relevant documentation for assessment, as per Appendix D.

POSITIONING YOUR HOUSE & GARAGE

ORIENTATION & SITE COVERAGE

- The house is positioned to face the street (both streets on corner blocks) and the façade incorporates visually interesting features and an easily identifiable entrance.
- A shadow diagram is provided (for double storey houses only).
- House does not overlook neighbouring dwellings.
- On lots 450m² or more the living area is at least 140m². On lots 449m² or less, the minimum living area is 110m² or less.
- The total site coverage (i.e. building footprint) is no more than 60%.

BUILDING HEIGHTS & SETBACKS

HEIGHTS

- Maximum building height is 9m, and maximum wall height is 7.2m.
- Natural ground level is shown on elevations.
- Garage is not more than 4m high and if located on a side boundary, the average wall height is not more than 3m and no part exceeds 3.6m.

SETBACKS

- House is set back at least 4m from front boundary.
- House is set back at least 1.2m from side boundaries (2-3m in some instances where required by a service easement).
- The dwelling is set back at least 2m from the secondary street (if located on a corner lot).

- Garage is set back at least 5m from the front boundary.
- If the garage is not located within 200mm of side boundary, it is set back at least 1m.

SOLAR ACCESS, ENERGY & WATER EFFICIENCY

- 6 star rating report has been obtained and included with submission.
- Indoor and main outdoor living areas face north.
- Energy and water efficient appliances are used.
- Insulation is installed in walls and ceilings.
- Dwelling includes either a water tank for flushing toilets or gas boosted solar hot water system.
- Water pressure will be limited at outlets through the use of regulators and/or water saving tapware and shower heads.

DESIGNING YOUR HOME

BUILDING & ROOF FORM

- Dwelling façade is not identical to other dwellings in the vicinity.
- Setbacks and heights of the building are varied. Street frontage does not present unarticulated, plain façade.
- Roof is pitched between 22.5 and 40 degrees.
- Design includes roof features such as Dutch gables, dormer windows, different roof forms, verandas, patios and skylights.
- 450mm eaves are included.

WINDOW PLACEMENT & DESIGN

- Windows are designed and positioned to minimise overlooking into adjacent properties.
- Majority of windows face north and are protected from summer sun.
- Large windows facing west are protected from afternoon summer sun.
- Aluminium window shutters are not utilised.
- Tinted or reflective glass is not used.
- Houses on corner blocks have windows facing both streets.

GARAGES, CARPORTS & DRIVEWAYS

- Garage is a less than 8m wide, 10m deep and 4m high.
- Garage does not comprise more than 60% of the total width of the dwelling.
- Garage is set back at least 5m from the front boundary and 3m from the rear boundary. Garage is also setback from front façade of dwelling to create articulation and visual interest.
- If the garage is facing the side street of a corner lot, it is set back at least 2m from the side street.
- If garage is on a side boundary, the garage wall creating the boundary does not average more than 3m and no part is higher than 3.6m.
- Where garages are not located within 200mm of the side boundary, there must be a setback of at least 1m from the side boundary.
- Garage design is integrated with the dwelling in terms of materials and style.
- Secondary garage or carport is not visible from the street.
- The total combined length of garage/carport/shed/pergola wall on the boundary does not exceed 10m, plus 25% of the remaining length of the boundary.
- Vehicular crossing is single and driveway is no more than 4m in width.

- Driveway is constructed in suitable materials and muted colours.
- Driveway will be completed within 30 days of Certificate of Occupancy.
- Commercial vehicles, boats, caravans or trailers will not be parked where they are visible from the street.

BUILDING MATERIALS, EXTERNAL FIXTURES & OUTDOOR LIGHTING

- Dwelling is constructed of brick, brick veneer, stone, timber, masonry, masonry veneer, natural stone, hardwood timber cladding/weatherboards, mud brick or rammed earth.
- The façade includes a minimum of 20% materials/treatment other than brick. For corner lots this treatment also wraps around to the secondary street frontage.
- Walls, windows and doors are finished in natural earthy tones and bright or contrasting colours are used sparingly.
- Dwelling does not use cement block, besser block, or PVC products.
- Roofing is constructed from Colorbond or similar metal sheet in custom orb profile, or low profile terracotta or masonry tiles, or natural slate shingles.
- Roof is matt finish, in muted neutral tones and not reflective.
- External plumbing is hidden from the street and neighbouring houses.
- Waste pipes are concealed within wall cavities or enclosed in service ducts.
- External fixtures are located discreetly to reduce visibility from the street and parklands.
- Pathway or garden lighting is subtle and does not spill into adjoining properties.
- Timers, daylight sensing controls or motion sensors are installed for outdoor lighting.



PRIVATE OPEN SPACE

- Private open space accounts for at least 20% of the total site area, or 80m² (whichever is lesser), but not less than 40m².
- A portion of private open space is positioned next to indoor living areas and if possible, faces north.
- Service and storage areas are adequately screened.

DESIGNING YOUR GARDEN

- Landscape plan shows layout and materials for paved areas.
- Landscape plan shows layout of lawn areas and garden beds (including types of mulches used).
- Landscape plan includes layout of planting (including species and quantities).
- Details of external structures (location, elevation, height, materials used) are provided.
- Location of pool is detailed (if relevant).
- Details of any existing native vegetation (including branch canopy) are shown on plan.
- Plant species that have extensive roots and limbs when mature are not too close to buildings and foundations.
- Larger shrubs and trees are planted to screen neighbours' homes and utility areas.
- Local (indigenous) and native species are used as much as possible.

- Deciduous trees are used to shade windows in summer and allow sunshine into the house in winter.
- Shade-loving species such as ferns are planted in sheltered, south-facing spaces.

SURFACE TREATMENT & SOIL IMPROVEMENT

- A mix of hard and soft surface treatments is used and soft treatments make up the majority of the outdoor space.
- Large areas of impervious paving are minimised.
- Large areas of lawn are minimised and alternative permeable surface treatments such as gravel, pebbles and planting are used.
- Composted organic material/organic topsoil is added to the top 150mm of soil.
- Good quality organic topsoil is used to improve the local soil.
- Gypsum is added to soil to improve drainage and cultivation.
- Organic material to 75mm depth is used.

TREE PROTECTION

- Buildings or structures are set back at least 1m from the canopy drip line of existing trees.

- A temporary protection fence will be erected around existing trees during dwelling construction. This will be at least 1.2m high and situated at least 2m beyond the branch canopy. No materials, waste, equipment, vehicles or machinery will be stored inside this fence during construction.
- No trenching will be carried out beneath the canopy drip line of existing trees.
- No tree will be removed without the approval of Wyndham City Council.

FENCING

- Side and rear boundary fences are constructed of 1.8m timber palings, and have exposed posts on both sides and a capping rail.
- Extent of fencing along side boundary on corner lot is not more than 65% of the total length of the lot.
- Side fence stops 4m from the front boundary.
- Materials and colours of fences complement those of the house.
- Solid metal and Colourbond fencing materials are not used.
- Existing fences constructed by the Developer will be retained.
- No front fencing is proposed.
- Fencing will be complete within 30 days of issue of Certificate of Occupancy.
- Embankments do not exceed slope of 1 in 5.
- Retaining walls do not exceed 1.5m in height.

UTILITY AREAS & EXTERNAL STRUCTURES

- Rubbish and recycling bins will be stored out of view from the street frontage.
- Environmentally sustainable initiatives such as worm farms and compost are utilised but are stored out of view.
- Letterbox complies with Australia Post requirements.
- Letterbox construction is complementary to house design and colour scheme.
- Clotheslines and outdoor drying facilities are not visible from streets or parks.
- Clotheslines and outdoor drying facilities are positioned to maximise winter sunshine.
- External structures are located at the rear of the lot and screened if required to minimise impact on other properties.

LOT MAINTENANCE

- Rubbish will be stored in a cage and appropriately disposed of during construction.
- Nature strip planting will be protected during construction.
- Builder will comply with the City of Wyndham's Local Law 15.

THIS DESIGN CHECKLIST SUMMARISES THE ELEMENTS REQUIRED TO GAIN APPROVAL. IT MUST BE SUBMITTED WITH YOUR APPLICATION.



APPENDIX D – SUBMISSION CHECKLIST

.....
 Lot No.

.....
 Street Address

.....
 Owner's Name

.....
 Phone Number

.....
 Owner's Address

.....
 Builder's Name

.....
 Builder's Contact

.....
 Phone Number

.....
 Signature of Owner

.....
 Date

.....
 Signature of Builder

.....
 Date

- 1. SITE PLAN** Provide a plan showing boundaries (including dimensions and bearings), position of dwellings (including building outline and overhangs), carports, garages, outbuildings and driveways. Show any existing native vegetation that is to be protected on the site, including branch canopy.
 - 2. FLOOR PLAN** Provide floor plan of house.
 - 3. ELEVATIONS/SECTIONS** Provide front, rear and side elevations that include existing and proposed ground lines and maximum height of building above ground level. Provide a cross-section that indicates floor to ceiling heights and roof pitch.
 - 4. SCHEDULE OF EXTERNAL MATERIALS & COLOURS** Provide schedule that details materials and colour of walls and roofs of house and outbuildings.
 - 5. SHADOW DIAGRAM (FOR DOUBLE STOREY BUILDINGS ONLY)** Provide diagram showing extent of shadows cast by dwelling between 9am-3pm.
 - 6. ENERGY RATING ASSESSMENT** Provide evidence of 6-star energy rating for the house, as assessed by a suitably qualified professional.
 - 7. LANDSCAPE PLAN** Provide location, heights and materials of all boundary fencing and any retaining walls. Provide plant schedule including proposed height and spreads of plants (Note: This plan may be submitted after Design Approval, but prior to applying for a Certificate of Occupancy and moving into your new home).
 - 8. DESIGN CHECKLIST** Complete checklist, signed and dated by both the builder and the owner.
-

PLEASE SUBMIT YOUR DOCUMENTATION TO: King's Leigh Design Approval Committee
 Telephone: 9696 8245
 Email: dac@kingsleigh.com.au



APPENDIX E – APPLICATION FOR NEIGHBOURS' CONTACT DETAILS



Application for ownership details of adjoining properties for fencing purposes by Owner

When completed submit to: Wyndham City
45 Princes Highway, Werribee, Victoria 3030, Australia
PO Box 197, Werribee, Victoria 3030, Australia
Email: mail@wyndham.vic.gov.au Tel: (03) 9742 0777 Fax: (03) 9741 6237

TO ENSURE YOUR APPLICATION IS PROCESSED ALL PROPERTY OWNERS DETAILS MUST BE COMPLETED BY THE PROPERTY OWNER

OFFICE USE ONLY	
Property Number:	_____
OFFICER: _____ FEN: _____	_____

All Property Owner/s details:

Title:	Mr/ Ms / Mrs	Mr/ Ms / Mrs
Given Name:		
Surname:		
Date of Birth:		
Residential Address:		
Postal Address if different		
Telephone:		
Mobile:		
Email:		

Declaration:

I/We, _____
(Name of property owner/s – please print)

Being the owner/s of _____
(Property address)

Request ownership details of the adjoining properties as listed below:

I/We declare that the information provided will only be used for fencing purposes and agree not to use or disclose the information provided for any other purpose. I also agree to de-identify or destroy the information once used and that the information will not be used for marketing purposes.

(signature of owner/s) (date)

List of adjoining properties:

View from road: Left Side Right Side Back All

Please forward the information by (tick one of the boxes): Post: Fax: Pick Up: Email:

This information is being collected for the purpose of adjoining ownership details for fencing and will be used and disclosed in accordance to the Local Government Act 1989 and various other acts applicable to Local Government. Information regarding the use and disclosure of your personal information can be obtained from the back of your rates notice.



APPENDIX F – RECOMMENDED PLANTS

*Denotes acceptable exotic species

BOTANICAL NAME	COMMON NAME	MATURE SIZE (H x W)	PLANTING DENSITY	COMMENTS
SMALL-MEDIUM DECIDUOUS TREES				
<i>Cercis canadensis</i> 'Forest Pansy'*	Red Bud	5 x 5	n/a	
<i>Lagerstroemia indica</i> x <i>L. fauriei</i> 'Natchez**	Crepe Myrtle Cultivar	8 x 6	n/a	
<i>Lagerstroemia indica</i> x <i>L. fauriei</i> 'Tuscarora**	Crepe Myrtle Cultivar	8 x 6	n/a	
<i>Pyrus betulaeifolia</i> 'Southworth' 'Dancer'*	Ornamental Pear Cultivar	7 x 4.5	n/a	
<i>Pyrus calleryana</i> 'Capital'*	Ornamental Pear Cultivar	11 x 3	n/a	
SMALL-MEDIUM EVERGREEN TREES				
<i>Banksia marginata</i>	Silver Banksia	10 x 5	n/a	
<i>Agonis flexuosa</i> 'Burgundy'	Burgandy Willow Myrtle	5 x 3	n/a	
<i>Angophera hispida</i>	Dwarf Apple	7 x 5	n/a	
<i>Arbutus canariensis</i> *	Canary Islands Madrone	7 x 5	n/a	
<i>Corymbia citriodora</i> 'Scentuous'	Dwarf Lemon Scented Gum	7 x 3	n/a	
<i>Hymenospermum flavum</i>	Native Frangipani	6 x 3	n/a	
<i>Tristanopsis laurina</i>	Kanooka	10 x 6	n/a	
SCREENING SHRUBS / HEDGING PLANTS				
<i>Acmena smithii</i> 'Hot Flush'	Lilly Pilly	5 x 3	900 c/c	
<i>Callistemon</i> 'Kings Park Special'	Bottle Brush	5 x 3	900 c/c	
<i>Correa baeuerlenii</i>	Chef's Hat correa	2 x 2	800 c/c	Shade tolerant
<i>Dodonaea viscosa</i>	Hop Bush	2 x 2	900 c/c	
<i>Elaeocarpus eumundii</i>	Eumundi Quandong	8 x 3	1000 c/c	
<i>Punus lusitanica</i> *	Portugal Laurel	5 x 3	900 c/c	Shade tolerant
<i>Syzygium luehmannii</i> 'Royal Flame'	Lilly Pilly	2 x 2	800 c/c	Shade tolerant
<i>Waterhousea floribunda</i>	Weeping Lilly Pilly	5 x 3	900 c/c	
<i>Westringia fruticosa</i>	Costal Rosemary	2 x 2	800 c/c	
MEDIUM SHRUBS (1-1.5M)				
<i>Acacia acinacea</i>	Gold Dust Wattle	1.5 x 1.5	2/m	Fast growing
<i>Adenanthos sericeus</i> 'Compact Form'	Woolly Bush	1 x 1	3/m	
<i>Berberis</i> 'Helmond Pillar'*	Helmond Pillar Barberry	1.5 x .3	3/m	Upright form
<i>Callistemon</i> 'Great Balls of Fire'	Dwarf Bottlebrush	1.5 x 1.5	2/m	
<i>Correa alba</i> var. <i>alba</i>	White correa	1.5 x 1.5	2/m	
<i>Eremophila maculata</i>	Spotted Emu Bush	1 x 1	3/m	
<i>Euphorbia charicas</i> ssp. <i>wulfenii</i> *	Mediterranean Spurge	1 x 1	3/m	Poisonous
<i>Grevillea</i> 'Boongala Spinebill'	Spinebill Grevillea	1.5 x 1.5	2/m	
<i>Grevillea</i> 'Robyn Gordon'	Robyn Gordon Grevillea	1.5 x 2	2/m	
<i>Hebe</i> 'Mary Antoinette'*	Mary Antoinette Hebe	1 x 1	3/m	
<i>Philotheca myoporoides</i> 'Winter Rouge'	Wax Flower	1 x 1	3/m	
<i>Rhagodia spinescens</i>	Creeping Salt Bush	1 x 3	2/m	
<i>Westringia</i> 'Jervis Gem'	Costal Rosemary	1.5 x 1.5	2/m	
CLIMBERS				
<i>Cissus antarctica</i>	Kangaroo Vine	n/a	900 c/c	Shade tolerant climber Requires trellis support
<i>Hardenbergia</i> 'Edna Walling Snow White'	Snow White Happy Wanderer	n/a	900 c/c	Requires trellis support
<i>Hibbertia scabdens</i>	Snake Vine	n/a	900 c/c	Requires trellis support
<i>Kennedia rubicunda</i>	Dusky Coral Pea	n/a	900 c/c	Requires trellis support
<i>Pandorea jasminoides</i>	Bower of Beauty	n/a	900 c/c	Requires trellis support
<i>Parthenocissus tricuspidata</i> *	Boston Ivy	n/a	1200 c/c	Self-adhesive climber Clings to timber or masonry
<i>Trachelospermum jasminoides</i> *	Chinese Star Jasmine	n/a	900 c/c	Requires trellis support

NOTE: Further to the above list any species that is currently listed as an environmental weed in the state of Victoria is not permitted. Refer www.depi.vic.gov.au for the full list of classified weeds.



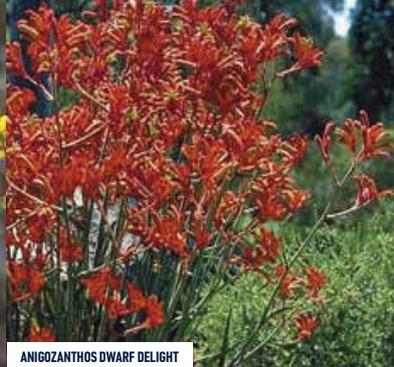
*Denotes acceptable exotic species

BOTANICAL NAME	COMMON NAME	MATURE SIZE (HxW)	PLANTING DENSITY	COMMENTS
GRASSES AND STRAPPY-LEAFED PLANTS				
Anigozanthos cultivars	Kangaroo Paw	0.5 x 0.5	4/m	
Carex buchananii	"Leatherleaf Sedge"	0.3 x 0.3	4/m	
Dianella 'Cassa Blue'	Dianella cultivar	0.3 x 0.3	5/m	
Dianella 'Little Rev'	Dianella Cultivar	0.3 x 0.3	5/m	Shade tolerant
Dietes grandiflora*	Wild Iris	1 x 1	4/m	Shade tolerant
Clivia miniata	Kaffir Lily	0.6 x 0.6	4/m	Tolerant of dense shade
Liriope muscari 'Just Right**	Liriope cultivar	0.5 x 0.5	4/m	Shade tolerant
Liriope muscari 'Royal Purple**	Liriope cultivar	0.3 x 0.3	5/m	Shade tolerant
Lomandra 'Lime Tuff'	Lomandra cultivar	0.3 x 0.3	5/m	
Lomandra 'Little Con'	Lomandra cultivar	0.3 x 0.3	5/m	
Lomandra 'Silver grace'	Lomandra cultivar	0.5 x 0.5	5/m	
Lomandra 'Tanika'	Spiny Mat-rush	1 x 1	4/m	
Miscanthus sinensis 'Sarabande**	Japanese Silver Grass	1.2 x 1.2	2/m	Perennial grass
Ophiopogon japonicus*	Mondo Grass	0.1 x 0.1	5/m	Shade tolerant
Orthrosanthus multiflorus	Morning Iris	0.8 x 0.8	4/m	Part shade
Patersonia occidentalis	Native Iris	0.8 x 0.8	4/m	
Poa labillardieri	Common Tussock Grass	0.5 x 0.5	4/m	
SMALL SHRUBS AND GROUNDCOVERS (<1M)				
Acacia amblygona 'Winter Gold'	Acacia Winter Gold	0.3 x 2	4/m	
Agastache aurantiaca 'Sweet Lili**	Humming Bird Mint	1 x 1	3/m	Herbaceous perennial
Banksia blechnifolia	Blechnum Banksia	0.3 x 0.3	4/m	
Chrysocephalum apiculatum	Common everlasting	0.2 x 1	4/m	
Echinops ritro*	Small Globe Thistle	0.3 x 0.3	4/m	Herbaceous perennial
Enchylaena tomentosa	Ruby Saltbush	0.5 x 0.5	4/m	
Grevillea 'Poorinda Royal Mantle'	Prostrate Grevillea	0.2 x 0.8	3/m	
Grevillea rhyolitica x juniperina 'Cherry Clusters'	Cherry Clusters Grevillea	0.6 x 0.8	4/m	
Grevillea alpina x lavandulacea	Jelly baby Grevillea	0.3 x 0.3	4/m	
Hardenbergia 'Meema'	Dwarf Native Sarsprilla	0.3 x 1	4/m	
Myoporum parvifolium	Creeping Boobialla	1.5 x 2.0	2/m	Fast growing
Perovskia atriplicifolia*	Russian Sage	1 x 1	3/m	Herbaceous perennial
Salvia leucantha 'Harry's Red**	Red Mexican Sage	1 x 1	3/m	Herbaceous perennial
Sedum 'Autumn Joy**	Stonecrop	0.6 x 0.3	4/m	
Senecio repens*	Blue Chalksticks	0.3 x 0.6	4/m	
Scaevola aemula	Fairy Fan Flower	0.2 x 0.8	4/m	
Trachelospermum jasminoides*	Chinese Star Jasmine	0.3 x 0.3	4/m	
Westringia 'Grey Box'	Grey Leafed Westringia	0.3 x 2	4/m	
GROUNDCOVERS FOR BETWEEN STEPPERS / LAWN ALTERNATIVE				
Dichondra repens	Kidney weed	0.1 x 0.8	5/m	
Ophiopogon japonicus 'Nana**	Dwarf Mondo Grass	0.1 x 0.1	10/m	Shade tolerant
Pratia pedunculata	Blue Star Creeper	0.1 x 0.8	5/m	
Pultenaea pedunculata	Matted Bush Pea	0.1 x 0.8	4/m	
PROHIBITED SPECIES				
Nandina domestica	Sacred Bamboo			
Agapanthus praecox	Agapanthus			
Toxicodendron succedaneum	Rhus Tree			
Hedera helix	English Ivy			
Acanthus mollis	Oyster Plant			
Asparagus aethiopicus	Asparagus Fern			
Lantana camara	Common Lantana			
Yucca filamentosa	Adams Needle			
Robinia pseudoacacia	Black locust			

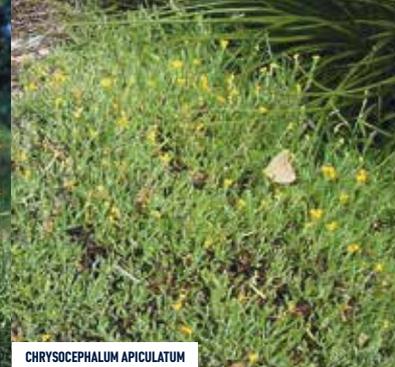
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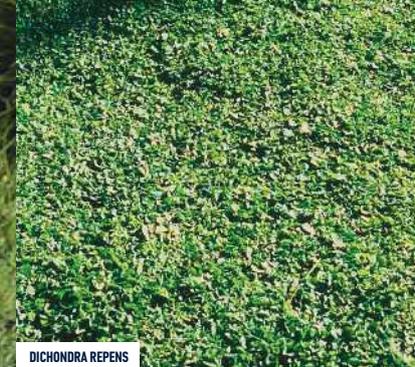
ACACIA ACINACEA



ANIGOZANTHOS DWARF DELIGHT



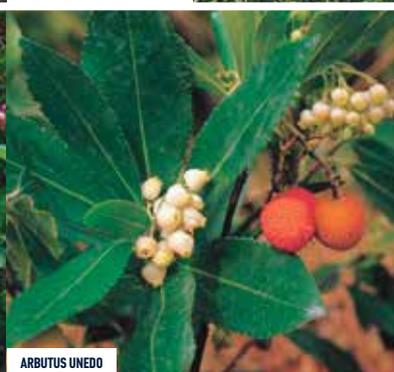
CHRYSOCEPHALUM APICULATUM



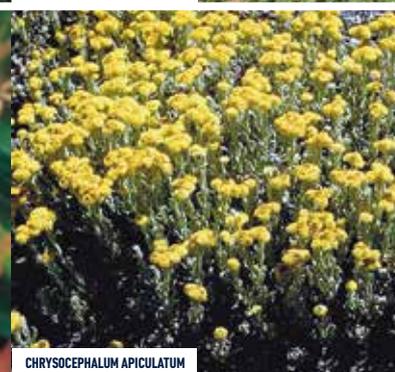
DICHONDRA REPENS



ACMEMA SMITHII FLOWER



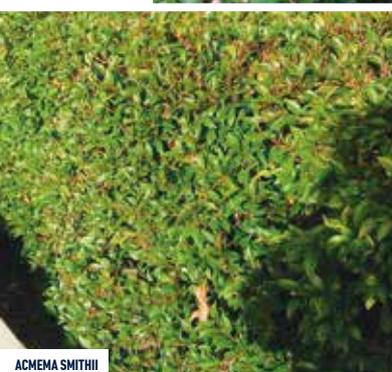
ARBUTUS UNEDO



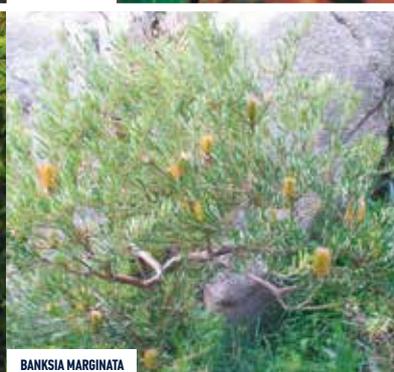
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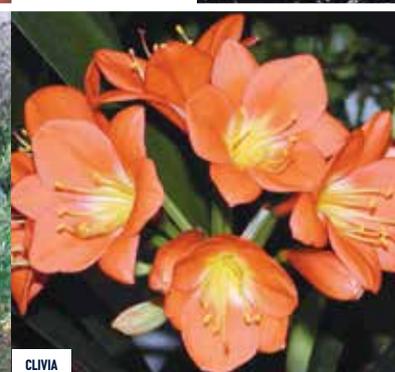
DIETES BICOLOR



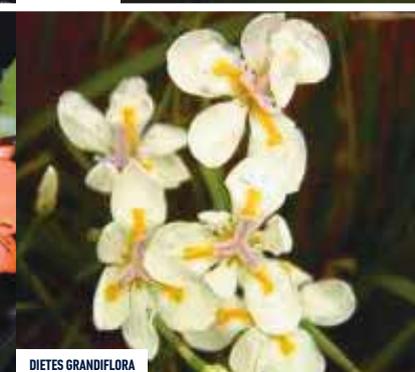
ACMEMA SMITHII



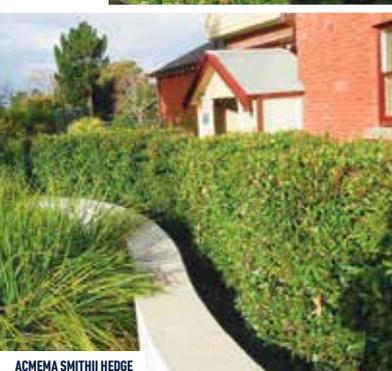
BANKSIA MARGINATA



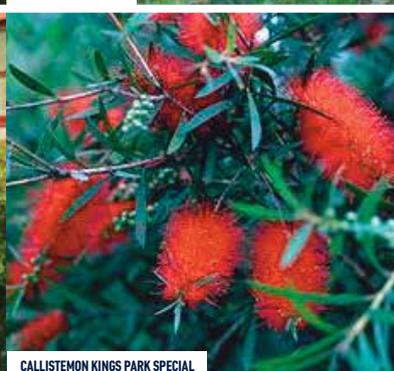
CLIVIA



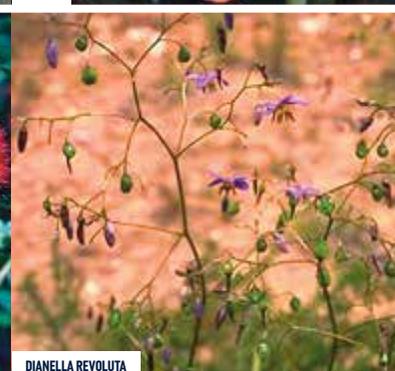
DIETES GRANDIFLORA



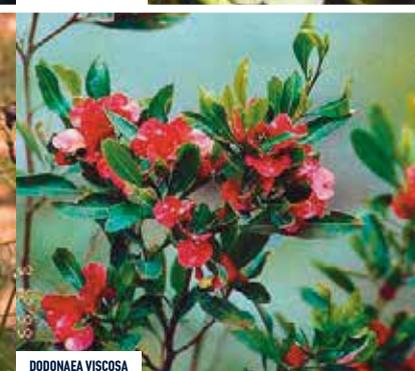
ACMEMA SMITHII HEDGE



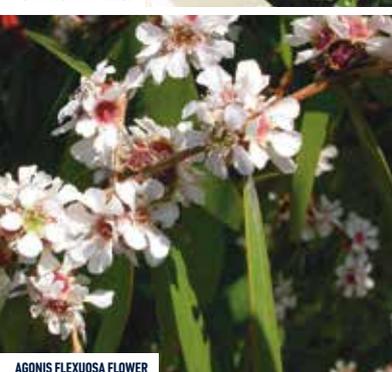
CALLISTEMON KINGS PARK SPECIAL



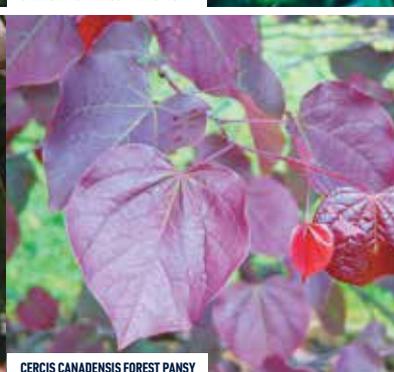
DIANELLA REVOLUTA



DODONAEA VISCOSA



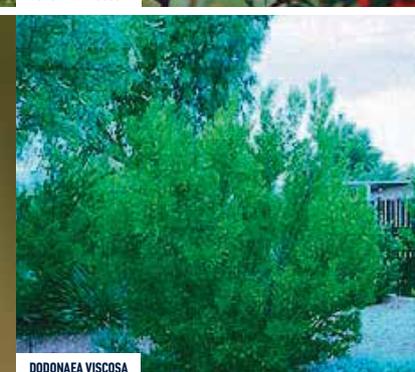
AGONIS FLEXUOSA FLOWER



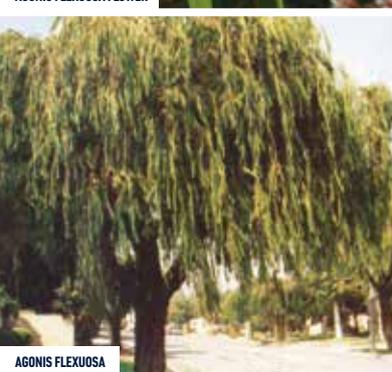
CERCIS CANADENSIS FOREST PANSY



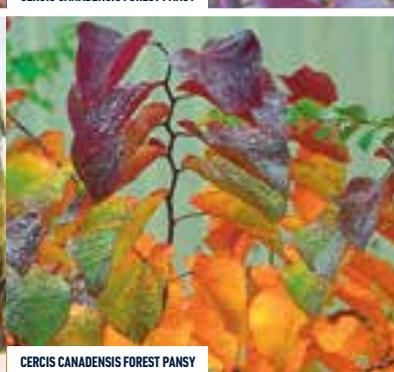
DIANELLA REVOLUTA FLOWER



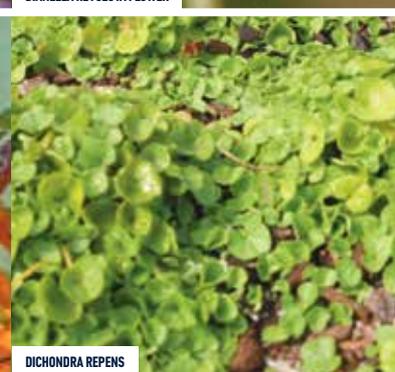
DODONAEA VISCOSA



AGONIS FLEXUOSA



CERCIS CANADENSIS FOREST PANSY



DICHONDRA REPENS



DODONAEA VISCOSA



DORYANTHES



KENNEDIA RUBICUNDA



LOMANDRA LONGIFOLIA



PYRUS CAPITAL



ENCHYLAENA TOMENTOSA



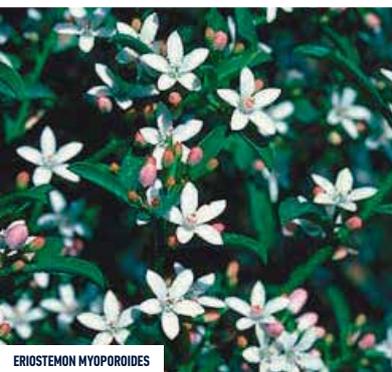
KLEINIA (SENECIO) MANDRALISCAE



MYOPORUM PARVIFOLIUM



SCAEVOLA AEMULA



ERIOSTEMON MYOPOROIDES



LAGERSTROEMIA INDICA 'NATCHEZ'



ORTHROSANTHUS MULTIFLORUS



TRISTANIOPSIS LAURINA



HARDENBERGIA VIOLACEA



LAGERSTROEMIA INDICA



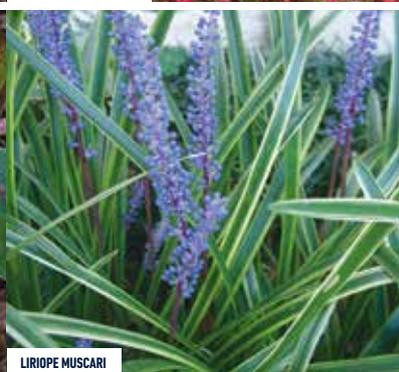
PATEROSNIA OCCIDENTALIS



TRISTANIOPSIS LAURINA



HIBBERTIA SCANDENS



LIRIOPE MUSCARI



POA LABILLARDIERI



WESTRINGIA FRUTICOSA



HYMENOPORUM FLAVUM TREE



LOMANDRA FILIFORMIS



PYRUS CALLERYANA



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